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## Planning Commission Study Session

**TO:** PLANNING COMMISSION/DESIGN REVIEW BOARD

**FROM:** KEITH NEWMAN, PLANNER II *KN*  
(480) 503-6812, KEITH.NEWMAN@GILBERTAZ.GOV

**THROUGH:** CATHERINE LORBEER AICP, PRINCIPAL PLANNER *ajl*  
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**MEETING DATE:** JUNE 6, 2018

**SUBJECT:** DR18-56 ALDI

**STRATEGIC INITIATIVE:** Economic Development

Attract, retain and grow businesses that serve the local and regional customer base as a means to increase Gilbert's sales tax revenue.

### REQUEST

DR18-56, ALDI: Site plan, landscaping, grading and drainage, elevations, floor plans, lighting, colors and materials for approximately 8.49 acres, generally located at the southeast corner of Arizona Avenue and Desert Lane, and zoned General Commercial with a Planned Area Development (PAD) overlay.

### RECOMMENDED MOTION

Request for input only. No motion required.

### APPLICANT/OWNER

Company:	Kimley-Horne & Associates	Company:	N/A
Name:	Sterling Margetts	Name:	Joel Ogden Darner II
Address:	1001 W. Southern Ave., #131 Mesa, AZ 85210	Address:	837 W. Main Street Mesa, AZ 85201
Phone:	480-207-2680	Phone:	N/A
Email:	<a href="mailto:sterling.margetts@kimley-horn.com">sterling.margetts@kimley-horn.com</a>	Email:	N/A

## **BACKGROUND/DISCUSSION**

### **History**

<b>Date</b>	<b>Description</b>
<i>September 18, 1979</i>	Town Council approved A80-02 (Ordinance No. 253), annexing approximately 360 acres, including the subject property.
<i>March 3, 1987</i>	Planning Commission approved case S054, Preliminary Plat for Fiesta Tech Master Plan Phase II, for Lots 1-6.
<i>November 13, 1997</i>	DRB approved case DR97-65, Hertz Rental Car, on the subject property, Parcel 3, Continental Tech Center.

### **Overview**

The applicant is proposing the development of an ALDI retail grocery store, future shops, future pads, and a future light industrial parcel. Currently, a majority of the site is occupied by an abandoned vehicle sales building and associated parking lot, which will be removed to accommodate the proposed development. The site is zoned General Commercial (GC), which supports a broad range of small to large-scale retail, service, office, entertainment, and institutional uses of any size. Through this request, ALDI seeks to receive Design Review approval for the grocery store with a master plan for future phases.

### **Surrounding Land Use & Zoning Designations:**

	<b>Existing Land Use Classification</b>	<b>Existing Zoning</b>	<b>Existing Use</b>
North	General Commercial (GC)	General Commercial (GC)	Commercial (Winco and retail pads/shops)
South	Residential > 14 - 25 DU/Acre	Multi-Family Medium (MF-M)	Residential (Sierra Palms Apartments)
East	Light Industrial (LI)	Light Industrial (LI)	Warehousing
West	Neighborhood Suburban (City of Mesa)	Multiple Residence (RM-3)	Residential (Arizona Avenue then San Posada Apartments)
Site	General Commercial (GC)	General Commercial (GC)	Abandoned car sales lot and building

### **Project Data Table**

<b>Site Development Regulations</b>	<b>Required per LDC</b>	<b>Proposed</b>
Maximum Building Height	45'	29'-6"
Minimum Building Setbacks		
Front	25'	420'
Side to Street	20'	104'
Side to non-residential	20'	N/A
Side to Residential	75'	180'
Rear to non-residential	20'	237'
Minimum Required Perimeter Landscape Area		
Front	25'	25'

Side to Street	20'	20'
Side to non-residential	20'	20'
Side to residential	40'	40'
Rear to non-residential	20'	20'
Landscape (% of net lot area)	15%	15%

## **DISCUSSION:**

Staff has recently completed the first review of the project and has provided comments to the applicant. Staff is supportive of the overall development of the project site; however, we have concerns over the use and compatibility of a light industrial building being envisioned along the eastern property boundary. Per the LDC Use Regulations (Table 2.902), light industrial uses are very limited in the GC zoning district and may not be a compatible use with the proposed retail and commercial that is being proposed for the remainder of the site. Staff has asked the applicant to provide additional information concerning said future light industrial use.

### **Site Plan:**

The proposal at this time consists of a 23,435 square foot ALDI grocery store building and associated site improvements on approx. 2.27 acres. It is anticipated that the entire development, which is currently one parcel, will be subdivided into a total of four (4) lots to accommodate the development of two (2) retail pad sites along Arizona Avenue and a light industrial building along the eastern portion of the property. The applicant has not yet submitted applications to subdivide the land so for now it will remain as one parcel. Please note that Design Review Applications for all future buildings and site improvements will be required upon their development.

The entire development will have three (3) vehicular access points once completed. The primary access point exists and is located off of Arizona Avenue at the far southwest corner of the project site. Two (2) secondary access points will be located off of Desert Lane along the north boundary of the property with the western most entrance previously constructed.

The ALDI portion of the development is situated in the middle of the site with parking to the west and north of the building. Vehicle circulation for all vehicles types will take place around the entire building with the truck dock for unloading product to the rear of the site.

### **Elevations:**

The proposed ALDI Building will be 29 feet tall at the highest point and include exterior materials consisting of brick, fiber cement board, stucco, aluminum composite paneling, and glass for all windows. The roof will mainly be flat including parapet roofing at the top of the building with the exception of a raised tower with pitched standing seam metal roofing over the main entryway. The proposed color palette consists of “Earth” tone colors with light tan and two different shades of brown for the main building walls and gray for all steel canopies, standing seam metal roofing and aluminum wall paneling.

**Landscaping:**

Drought tolerant landscaping will be planted by the site developer with the development of ALDI and include the entire Arizona Avenue and Desert Lane street frontages, onsite areas including required landscape setbacks along the entire perimeter, the ALDI parking lot and along the foundation of the proposed ALDI building. Decorative rock will be used throughout the site as ground cover. The only landscaping that will not be installed by the developer at this time will be all onsite areas associated with the development of the future building/pads. The ALDI project will contain 15% landscaping, which meets Town minimum requirements.

**Grading and Drainage**

On-site retention will be provided in underground and above ground retention basins within the landscape areas along property boundaries and within the parking lots. Town Engineering Staff is in the process of analyzing all proposed site grading and drainage to ensure compliance with all Town standards.

**Lighting and Signage:**

Wall mounted light fixtures are attached to the building on the north, east and west elevations. 25 foot tall freestanding light poles are proposed on the site throughout the majority of the parking lot to ensure sufficient site lighting and security. Parking lot light poles within 100 feet of the apartment complex to the south will be limited to 14 feet tall.

Three monument sign locations are shown on the master site plan and a design of the signs has not yet been provided to Staff for review. The applicant will be submitting a Comprehensive Sign Plan and signage permits separately as the project continues to develop. Staff will ensure compliance with all sign code requirements.

**PUBLIC NOTIFICATION AND INPUT**

The proposed project will require public notice as specified under Land Development Code (LDC) Section 5.602.A.3.

**REQUESTED INPUT**

1. Overall building architecture and site design.

Respectfully submitted,

Keith Newman,  
Planner II

**Attachments and Enclosures:**

- 1) Vicinity/Aerial Map
- 2) Site Plan
- 3) Landscape Plan
- 4) Grading and Drainage Plan



- 5) Building Elevations
- 6) Floor Plan
- 7) Lighting Photometric Plan
- 8) Colors and Materials





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- ALL UTILITY LINES LESS THAN 69 KV ON OR CONTIGUOUS TO THE SITE SHALL BE INSTALLED OR RELOCATED UNDERGROUND.
- ALL TRASH ENCLOSURES SHALL INCLUDE FULLY OPAQUE SCREENING GATES, FINISHED AND PAINTED TO MATCH THE ENCLOSURE. SCREENING GATES SHALL NOT OPEN INTO VEHICULAR DRIVE AISLES. TRASH ENCLOSURES ARE NOT REQUIRED IN INDUSTRIAL DISTRICTS IF LOCATED INSIDE AN ENCLOSED YARD WHICH IS SCREENED BY A PERIMETER WALL AT LEAST 6 FEET IN HEIGHT.
- ALL OUTDOOR STORAGE AREAS FOR STORAGE OF MATERIALS AND EQUIPMENT SHALL BE FULLY SCREENED FROM VIEW BY A 6" SOLID MASONRY WALL. INDUSTRIAL STORAGE SCREEN WALLS SHALL BE FINISHED WHERE THEY ARE EXPOSED TO PUBLIC VIEW FROM STREETS OR ADJACENT NON-INDUSTRIAL USES.
- S.E.S. PANELS AND ANY OTHER ABOVE GROUND UTILITY CABINET SHALL BE FULLY SCREENED FROM VIEW FROM STREETS OR FROM AREAS ACCESSIBLE TO CUSTOMERS AND THE GENERAL PUBLIC. SCREENING MAY BE ACCOMPLISHED BY ANY ONE OF THE FOLLOWING METHODS:
  - a) FULLY RECESSING THE CABINET INTO THE BUILDING AND ENCLOSING IT BY A SOLID DOOR OR DOORS SEPARATE FROM THE CABINET.
  - b) SCREENING WITH A DECORATIVE MASONRY WALL OF THE SAME HEIGHT AS THE PANEL. THE SCREEN WALL MAY BE L-SHAPED, U-SHAPED OR A STRAIGHT WALL PARALLEL TO THE CABINET, DEPENDING ON THE LOCATION OF THE CABINET.
  - c) AN ALTERNATIVE SCREENING METHOD APPROVED BY THE PLANNING DEPARTMENT PRIOR TO ISSUANCE OF ANY PERMITS.
- THE LOCATION OF ALL ELECTRICAL UTILITY EQUIPMENT SHALL BE IDENTIFIED ON THE CONSTRUCTION PLANS.
- ROOF-MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY EITHER ONE OF THE FOLLOWING METHODS:
  - a) THE PARAPET WALL OF THE BUILDING SHALL EQUAL OR EXCEED THE HEIGHT OF THE MECHANICAL UNITS, OR;
  - b) BY LOCATING THE MECHANICAL EQUIPMENT BEHIND THE ROOF PLANES IN THE CASE OF MANSARD, HIP OR OTHER THAN FLAT ROOF.
- ROOF MOUNTED MECHANICAL EQUIPMENT ENCLOSURES OR EQUIPMENT SCREEN WALLS SHALL NOT PROJECT ABOVE THE ROOF PARAPET. TO THE EXTENT PERMITTED BY LAW, SATELLITE DISHES SHALL BE FULLY SCREENED BY A PARAPET WALL.
- GROUND MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED FROM VIEW (FROM STREETS OR SURROUNDING GENERAL USES) BY A COMBINATION OF DECORATIVE WALLS AND AN EVERGREEN VEGETATIVE HEDGE EQUAL TO OR EXCEEDING THE HEIGHT OF THE EQUIPMENT.
- PNEUMATIC TUBES, WHETHER METAL OR PLASTIC, SHALL BE EITHER:
  - a) ENCLOSED IN PILASTERS, COLUMNS OR OTHER ARCHITECTURAL FEATURES OF THE CANOPY OR BUILDING, OR;
  - b) ROUTED UNDERGROUND.
- ALL BACKFLOW PREVENTION DEVICES 2" OR LARGER SHALL BE SCREENED WITH LANDSCAPE LOCATED WITHIN A 6' RADIUS OF THE DEVICES. ALL BACKFLOW PREVENTERS LESS THAN 2" SHALL BE PLACED IN A WIRE CAGE PAINTED TO MATCH THE PRIMARY BUILDING COLOR.
- ALL FREESTANDING LIGHT POLES SHALL:
  - a) BE LOCATED WITHIN LANDSCAPED AREAS OR PLANTER ISLANDS.
  - b) HAVE CONCRETE BASES PAINTED TO MATCH THE PRIMARY BUILDING COLOR OR FINISHED TO MATCH PARKING SCREEN WALLS. CONCRETE BASES FOR LIGHT POLES SHALL NOT EXCEED A HEIGHT OF 30" FROM ADJACENT GRADE.
  - c) BE LOCATED TO AVOID CONFLICT WITH TREES.
- SITE LIGHTING SHALL COMPLY WITH THE LIGHT AND GLARE CRITERIA SET FORTH IN SECTION 4.103 OF THE LDC, INCLUDING A MAXIMUM FREESTANDING LIGHT FIXTURE HEIGHT OF 25'.
- LANDSCAPED AREAS ADJACENT TO PUBLIC RIGHT-OF-WAY SHALL BE MOUNDED AND NATURALLY CONTOURED. NO MORE THAN 50% OF THE REQUIRED (RIGHT-OF-WAY AND LANDSCAPING TRACTS) LANDSCAPING FRONTING ADJACENT STREETS MAY BE USED FOR RETENTION. RETENTION AREA SIDE SLOPES SHALL BE VARIED, AND NO SLOPE SHALL EXCEED A 4:1 MAXIMUM.
- COMMERCIAL BUILDING DOWNSPOUTS SHALL BE INTERNALIZED. INDUSTRIAL BUILDINGS MAY USE EXPOSED DOWNSPOUTS IF ARTICULATED WITH THE ARCHITECTURE OF THE BUILDING AND BUILT WITH A DURABLE MATERIAL SUCH AS STEEL.
- COMMERCIAL DEVELOPMENT VEHICULAR ACCESS POINTS AND PEDESTRIAN ACCESS WAYS SHALL INCLUDE SPECIAL PAVING TREATMENT SUCH AS INTEGRAL COLORED STAMPED CONCRETE, BOAMANITE, OR SIMILAR ALTERNATIVE. LOCATION AND MATERIAL SHALL BE REVIEWED AND APPROVED BY THE PLANNING DEPARTMENT PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.
- CUSTOMER, EMPLOYEE AND VISITOR PARKING SHALL BE SCREENED FROM STREET VIEW BY LOW MASONRY.
  - a) THE PARKING SCREEN WALLS SHALL BE FINISHED ON BOTH SIDES USING THE SAME MATERIALS AND COLORS, AND A DESIGN TO COMPLEMENT THAT OF THE MAIN BUILDING.
- ALL EXTERIOR METAL SHALL BE FINISHED OR PAINTED TO MATCH THE APPROVED PROJECT COLORS.
- EXISTING ON-SITE PLANT MATERIAL DAMAGED DURING CONSTRUCTION SHALL BE REPLACED WITH COMPARABLE SPECIES AND SIZE.

## PROJECT DESCRIPTION

THE PROPOSED ESTABLISHMENTS A GROCERY STORE AND FUTURE OUTPARCELS (PADS AND STORAGE). THE CURRENT ZONING FOR THE SITE IS GENERAL COMMERCIAL (GC). THE ZONING TO THE NORTH AND EAST IS GENERAL COMMERCIAL (GC). THE ZONING TO THE SOUTH OF THE SITE IS MULTI-FAMILY RESIDENCE (MF/M).

THE PROPOSED DEVELOPMENT WILL RETAIN THE 50-YR 24-HR STORM EVENT ON-SITE IN UNDERGROUND STORAGE PIPES IN THE PARKING AREA AND SURFACE BASINS AROUND THE PERIMETER THAT WILL DRAIN VIA DRYWELLS WITHIN 36 HOURS.

ACCORDING TO THE FLOOD INSURANCE RATE MAP #04013C2727L, DATED 11/04/2015, THIS PROPERTY IS LOCATED IN FLOOD ZONE "X". AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.

THE CITY OF MESA BRASS CAP IN HANDHOLE STAMPED "CITY OF MESA", MARKING THE NORTH QUARTER OF SECTION 34,  
TOWNSHIP 1 NORTH, RANGE 5 EAST, G@SRBM. TOWN OF GILBERT DATUM.  
ELEVATION = 1213.60 (NAVD '88)

THE LINE BETWEEN A CITY OF MESA BRASS CAP IN HANDHOLE MARKING THE WEST QUARTER CORNER OF SECTION 3, TOWNSHIP 1 SOUTH, RANGE 5 EAST, AND A CITY OF MESA BRASS CAP IN HANDHOLE MARKING THE INTERSECTION OF S. COUNTRY CLUB DRIVE AND DESERT LANE.  
SAID LINE BEARS NORTH 2 DEGREES 50 MINUTES 10 SECONDS WEST.

THE PROPOSED DEVELOPMENT WILL RETAIN ALL ON-SITE AND ADJACENT HALF-STREET FLOWS GENERATED FROM THE 50-YEAR 24-HOUR STORM IN SURFACE AND UNDERGROUND RETENTION BASINS PER TOWN OF GILBERT PUBLIC WORKS AND ENGINEERING STANDARDS.

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN GILBERT, IN THE COUNTY OF MARICOPA, STATE OF ARIZONA, AND IS DESCRIBED AS FOLLOWS:

LOT 1, OF FIESTA TECH MASTER PLAN PHASE II, ACCORDING TO BOOK 310 OF MAPS, PAGE 12, AND CERTIFICATE OF CORRECTION RECORDED AUGUST 25, 1987 IN RECORDING NO. 87-533386, RECORDS OF MARICOPA COUNTY, ARIZONA.

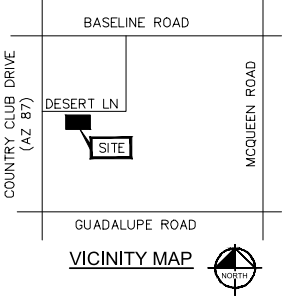
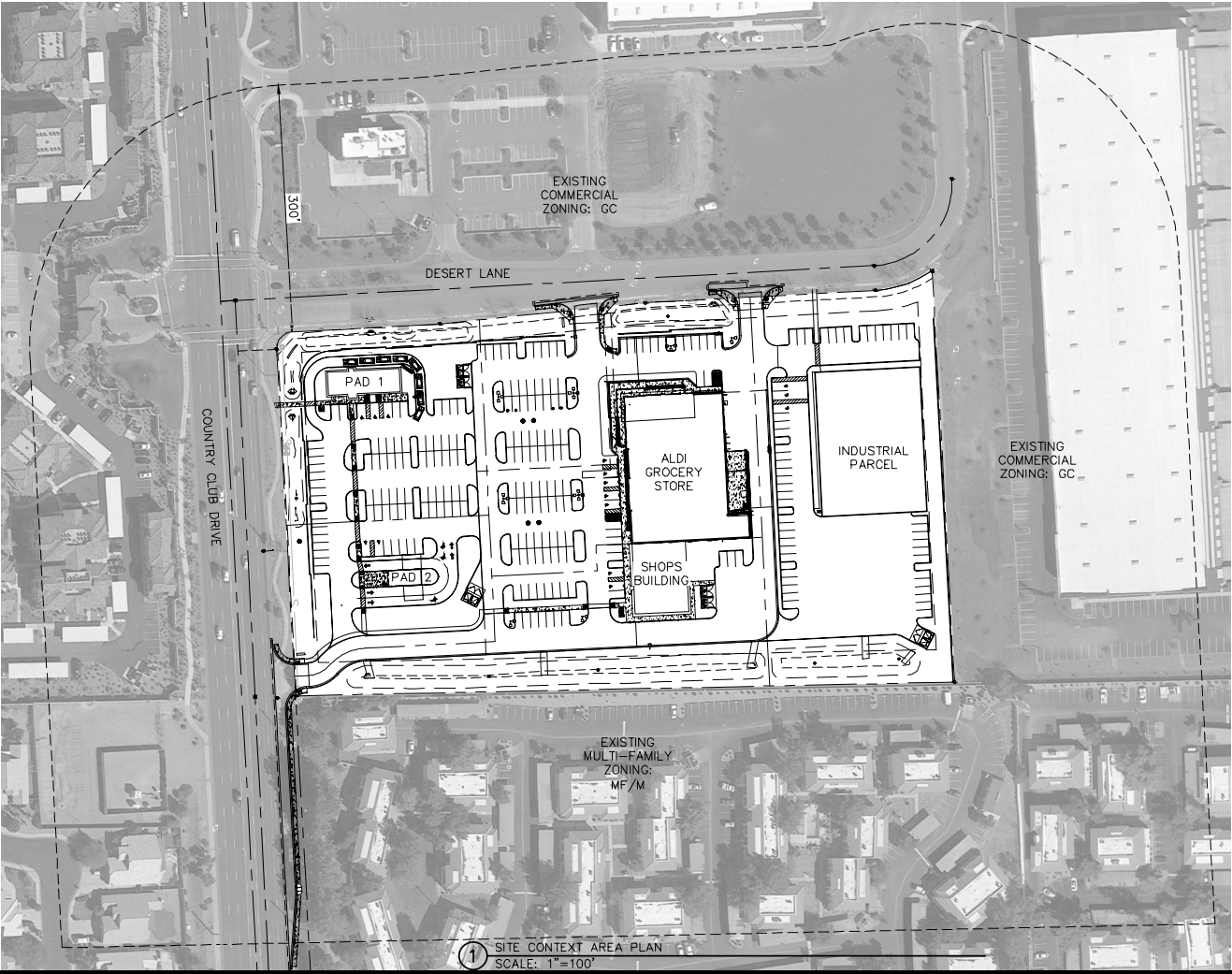
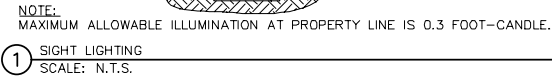
A PORTION OF THE NORTHWEST QUARTER OF SECTION 3, TOWNSHIP 1 SOUTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.

ADDRESS: SEC OF COUNTRY CLUB DRIVE &  
DESERT LANE, GILBERT, AZ

APN: 302-09-059

EXISTING ZONING: GC  
PROPOSED ZONING: GC  
ADJACENT ZONING: GC, MF/M

PROPOSED ALDI LOT AREA:	2.58± AC	(NET/GROSS)
PAD 1 LOT AREA:	1.33± AC	(NET/GROSS)
PAD 2 LOT AREA:	0.90± AC	(NET/GROSS)
SHOPS AREA:	1.53± AC	(NET/GROSS)
INDUSTRIAL PARCEL AREA:	2.46± AC	(NET/GROSS)
TOTAL LOT AREA:	8.50± AC	(NET/GROSS)



**ALDI, INC.**  
5080 N. 40TH STREET, SUITE 335  
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TEL NO. (602) 888-8931  
CONTACT: DAVE LAMBERT  
EMAIL: DAVID.LAMBERT@ALDI.US

KIMLEY-HORN AND ASSOCIATES, INC.  
1001 WEST SOUTHERN AVE. SUITE 131  
MESA, ARIZONA 85210  
TEL NO. (480) 207-2666  
CONTACT: STERLING MARGETTS  
EMAIL: STERLING.MARGETTS@KIMLEY-HORN.COM



**ALDI Inc.**  
5080 N. 40TH ST., STE. 335  
PHOENIX, AZ 85018  
(602) 888-8931

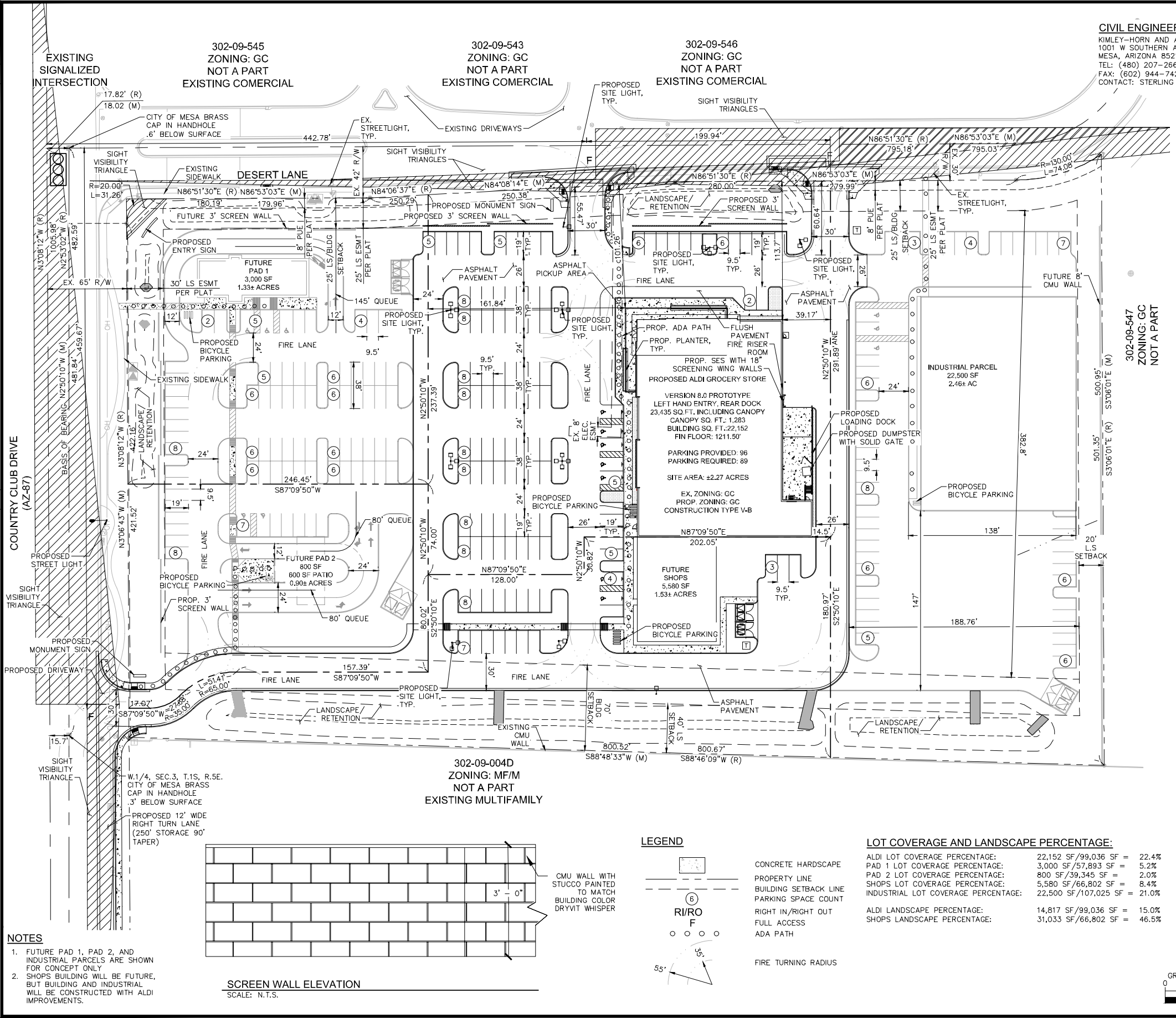
CLUB DRIVE AND DESERT LANE  
COVER SHEET  
GILBERT, ARIZONA

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DESIGN BY:	BMW
CHECK BY:	STM
DATE:	04/06/2018



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CIVIL ENGINEER	
KIMLEY-HORN AND ASSOCIATES, INC. 1001 W. SOUTHERN AVE. SUITE 131 MESA, ARIZONA 85210 TEL: (480) 207-2666 FAX: (602) 944-7423 CONTACT: STERLING MARGETTS, PE	
SITE INFORMATION	
ADDRESS:	SEC OF COUNTRY CLUB DRIVE & DESERT LANE, GILBERT, AZ
EXISTING ZONING:	GC
PROPOSED ZONING:	GC
ADJACENT ZONING:	GC, MF/M
PROPOSED ALDI LOT AREA:	2.27± AC (NET/GROSS)
PAD 1 LOT AREA:	1.33± AC (NET/GROSS)
PAD 2 LOT AREA:	0.90± AC (NET/GROSS)
SHOPS PAD:	1.53± AC (NET/GROSS)
INDUSTRIAL PARCEL AREA:	2.46± AC (NET/GROSS)
TOTAL LOT AREA:	8.49± AC (NET/GROSS)
PARKING SUMMARY - ALDI	
REQUIRED PARKING RATIO	1 SPACE PER 250 SF 22,152 SF/250 SF = 89 SPACES
INDIVIDUAL PARKING:	REQUIRED PROVIDED STANDARD 85 91 ACCESSIBLE PER ADA 4 5
TOTAL PARKING	89 96
REQUIRED BICYCLE PARKING:	1/10 VEHICLE PARKING SPACES REQUIRED PROVIDED 10 10
PARKING SUMMARY - PAD 1	
REQUIRED PARKING RATIO FOR RESTAURANT (LIMITED SERVICE)	1 SPACE PER 100 SF 3,000 SF/100 SF = 30 SPACES
INDIVIDUAL PARKING:	REQUIRED PROVIDED STANDARD 28 65 ACCESSIBLE PER ADA 2 3
TOTAL PARKING	30 68
REQUIRED BICYCLE PARKING:	1/10 VEHICLE PARKING SPACES REQUIRED PROVIDED 7 7
PARKING SUMMARY - PAD 2	
REQUIRED PARKING RATIO FOR RESTAURANT (BEVG. SERVICE)	1 SPACE PER 75 SF AND 1 SPACE PER 400 SF OUTDOOR SEATING 800 SF/75 SF = 11 SPACES 600 SF/400 SF = 2 SPACE
INDIVIDUAL PARKING:	REQUIRED PROVIDED STANDARD 12 12 ACCESSIBLE PER ADA 1 2
TOTAL PARKING	13 14
REQUIRED BICYCLE PARKING:	1/10 VEHICLE PARKING SPACES REQUIRED PROVIDED 2 2
PARKING SUMMARY - SHOPS	
REQUIRED PARKING RATIO	1 SPACE PER 250 SF 5,580 SF/250 SF = 23 SPACES
INDIVIDUAL PARKING:	REQUIRED PROVIDED STANDARD 21 21 ACCESSIBLE PER ADA 2 2
TOTAL PARKING	23 23
REQUIRED BICYCLE PARKING:	1/10 VEHICLE PARKING SPACES REQUIRED PROVIDED 3 3
PARKING SUMMARY - INDUSTRIAL	
REQUIRED PARKING RATIO	1 SPACE PER 1000 SF 22,500 SF/1000 SF = 23 SPACES
INDIVIDUAL PARKING:	REQUIRED PROVIDED STANDARD 21 48 ACCESSIBLE PER ADA 2 3
TOTAL PARKING	23 51
REQUIRED BICYCLE PARKING:	1/10 VEHICLE PARKING SPACES REQUIRED PROVIDED 4 6
TOTAL DEVELOPMENT PARKING PROVIDED:	252
TOTAL DEVELOPMENT BICYCLE PARKING PROVIDED:	29
GRAPHIC SCALE IN FEET 0 20 40 80 NORTH	

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(602) 888-9931

COUNTRY CLUB DRIVE AND DESERT LANE

SITE PLAN

GILBERT, ARIZONA

PROJECT No.  
291162008

SCALE (H): 1"=40'

SCALE (V): NONE

DRAWN BY: BMW

DESIGN BY: BMW

CHECK BY: STM

DATE: 04/06/2018

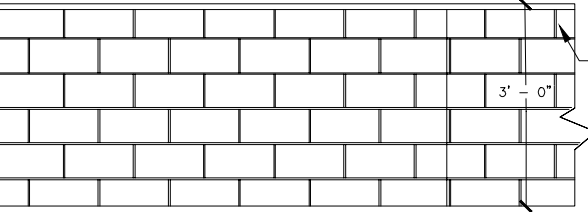
Registered Professional Engineer  
47183  
STERLING MARGETTS  
PE  
ARIZONA, USA  
EXPIRES: 12/31/19

CALL FOR RENTING RATE  
602-263-1100  
1-800-STAKE-IT  
(OUTSIDE MARICOPA COUNTY)

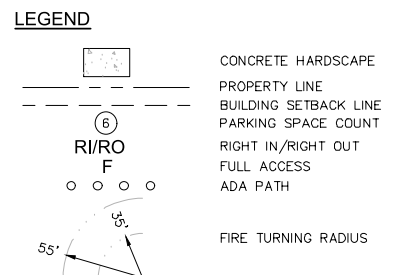
C2

2 OF 2 SHEETS

- NOTES**
- FUTURE PAD 1, PAD 2, AND INDUSTRIAL PARCELS ARE SHOWN FOR CONCEPT ONLY
  - SHOPS BUILDING WILL BE FUTURE, BUT BUILDING AND INDUSTRIAL WILL BE CONSTRUCTED WITH ALDI IMPROVEMENTS.



SCREEN WALL ELEVATION  
SCALE: N.T.S.



**LOT COVERAGE AND LANDSCAPE PERCENTAGE:**

ALDI LOT COVERAGE PERCENTAGE:	22,152 SF/99,036 SF = 22.4%
PAD 1 LOT COVERAGE PERCENTAGE:	3,000 SF/57,893 SF = 5.2%
PAD 2 LOT COVERAGE PERCENTAGE:	800 SF/39,345 SF = 2.0%
SHOPS LOT COVERAGE PERCENTAGE:	5,580 SF/66,802 SF = 8.4%
INDUSTRIAL LOT COVERAGE PERCENTAGE:	22,500 SF/107,025 SF = 21.0%
ALDI LANDSCAPE PERCENTAGE:	14,817 SF/99,036 SF = 15.0%
SHOPS LANDSCAPE PERCENTAGE:	31,033 SF/66,802 SF = 46.5%



**DR18-56: ALDI**  
**Attachment 3 - Landscape Plan**  
**June 6, 2018**


[illegible]

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## GENERAL LANDSCAPE NOTES

- ALL WORK SHALL BE CONFINED TO LIMITS OF CONSTRUCTION AS SHOWN ON PLANS.
2. SITE GRADING NECESSITATED BY THE WORK AS IT PROGRESSES AND NOT SPECIFICALLY CALLED OUT ON THE PLANS SHALL BE CONSIDERED INCIDENTAL WORK.
3. CONTRACTOR SHALL COORDINATE AND BE IN COMPLIANCE WITH ALL STATE AND LOCAL MUNICIPALITIES AS WARRANTED.
4. CONTRACTOR IS TO REVIEW PLANS, VERIFY SITE CONDITIONS AND PLANT QUANTITIES PRIOR TO INSTALLATION. ANY DISCREPANCIES FOUND BETWEEN THE DRAWINGS AND SPECIFICATIONS AND EXISTING SITE CONDITIONS OR ANY INCONSISTENCIES OR AMBIGUITIES IN DRAWINGS OR SPECIFICATIONS SHALL BE IMMEDIATELY REPORTED TO THE LANDSCAPE ARCHITECT, IN WRITING, WHO SHALL PROMPTLY ADDRESS SUCH INCONSISTENCIES OR AMBIGUITIES. WORK DONE BY THE CONTRACTOR AFTER HIS DISCOVERY OF SUCH DISCREPANCIES, INCONSISTENCIES, OR AMBIGUITIES SHALL BE DONE AT THE CONTRACTOR'S RISK.
5. DEVIATION FROM THESE PLANS AND NOTES WITHOUT THE PRIOR CONSENT OF THE OWNER, OR THE LANDSCAPE ARCHITECT MAY BE CAUSE FOR THE WORK TO BE DESIGNATED UNACCEPTABLE.
6. THE CONTRACTOR ACKNOWLEDGES & AGREES THAT THE WORK IS ENTIRELY AT HIS RISK UNTIL SITE IS ACCEPTED, AND HE WILL BE HELD RESPONSIBLE FOR ITS SAFETY BY THE OWNER.
7. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR THE DAMAGE OR LOSS OF ANY REFERENCE POINTS AND HUBS DURING THE CONSTRUCTION OF HIS WORK, AND SHALL BEAR THE COST OF REPLACING SAME.
8. THE CONTRACTOR IS RESPONSIBLE FOR HORIZONTALLY AND VERTICALLY LOCATING AND PROTECTING ALL PUBLIC AND PRIVATE UTILITIES WHICH LIE IN OR ADJACENT TO THE CONSTRUCTION SITE AT LEAST 48 HOURS PRIOR TO ANY DEMOLITION, GRADING, OR CONSTRUCTION ACTIVITY.
9. THE CONTRACTOR SHALL SALVAGE AND PROTECT ALL EXISTING POWER POLES, SIGNS, MANHOLES, TELEPHONE RISERS, WATER VALVES, ETC., DURING ALL CONSTRUCTION PHASES UNLESS NOTED OTHERWISE. THE CONTRACTOR SHALL REPAIR, AT HIS OWN EXPENSE, ANY EXISTING UTILITIES DAMAGED DURING CONSTRUCTION.
10. ANY FOREIGN ITEM FOUND DURING CONSTRUCTION IS THE PROPERTY OF THE OWNER. THIS INCLUDES, BUT IS NOT LIMITED TO, PRECIOUS METALS, COINS, PAPER CURRENCY, ARTIFACTS AND ANTIQUITIES.
11. ALL SURPLUS EXCAVATION SHALL BE TAKEN TO A SITE DESIGNATED BY OWNER, AT NO ADDITIONAL COST TO THE OWNER. IF OWNER CHOOSES, THE CONTRACTOR MAY TAKE POSSESSION OF SURPLUS EXCAVATION MATERIAL.
12. CONTRACTOR IS RESPONSIBLE FOR VERIFYING AND/OR OBTAINING ALL REQUIRED PERMITS AND APPROVALS PRIOR TO COMMENCING CONSTRUCTION.
13. CONTRACTOR IS TO MAINTAIN CONTROLLED PEDESTRIAN AND ADA ACCESS THROUGH ALL AREAS OF THE SITE THROUGHOUT CONSTRUCTION PERIOD.
14. MAINTAIN THE SITE IN A NEAT AND ORDERLY CONDITION AT ALL TIMES. DAILY, AND MORE OFTEN IF NECESSARY, INSPECT & AND PICK UP ALL SCRAP, DEBRIS, & WASTE MATERIAL.
15. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REMOVE ALL MUD, DIRT, ROCK MULCH AND OTHER MATERIALS TRACKED ONTO ANY PRIVATE OR PUBLIC STREETS OR SIDEWALKS. THE CONTRACTOR MUST CLEAN THESE DAILY, IF NECESSARY. THE CONTRACTOR MUST USE WATER OR OTHER ACCEPTABLE METHODS TO KEEP AIRBORNE DUST TO A REQUIRED MINIMUM.
16. PROVIDE PROTECTION TO ALL FINISHED WORK. MAINTAIN SURFACES CLEAN, UNMARRED, AND SUITABLY PROTECTED UNTIL ACCEPTANCE BY OWNER.
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE RESULTING FROM CONSTRUCTION ACTIVITY TO EXISTING ELEMENTS THAT ARE TO REMAIN.
18. EROSION CONTROL MEASURES (IE: SILT FENCING AND SEDIMENT CONTROL) SHALL BE MAINTAINED BY THE CONTRACTOR PER CIVIL SPECIFICATIONS. ANY EROSION CONTROL MEASURES DAMAGED BY THE CONTRACTOR SHALL BE REPLACED PER CIVIL SPECIFICATIONS.
19. PLANT QUANTITIES LISTED IN THE PLANT LEGEND ARE FOR THE CONVENIENCE OF THE CONTRACTOR. THE CONTRACTOR SHALL DO THEIR OWN TAKE-OFFS AND BASE BID ACCORDINGLY.
20. ALL PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL BRANCHED, AND DENSELY FOLIATED (WHEN IN-LEAF) AS IS TYPICAL FOR THE SPECIES. THEY SHALL HAVE HEALTHY, WELL DEVELOPED STANDARDS, AND FREE OF ANY BRUISES, CUTS OR OTHER ABNORMALITIES. PLANT MATERIAL SHALL BE SIZED IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMAN.
21. OWNERS REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL DEEMED UNACCEPTABLE.
22. LANDSCAPE CONTRACTOR TO TAG AND HOLD ALL PLANT MATERIAL A MINIMUM OF 30 DAYS PRIOR TO DATE OF INSTALLATION. ALL PLANT MATERIAL SUBSTITUTIONS MADE WITHIN THE 30 DAYS PRIOR TO INSTALLATION TO BE THE NEXT SIZE LARGER AT NO ADDITIONAL COST TO THE CLIENT.
23. ALL TREE LOCATIONS TO BE STAKED AND APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
24. INSTALL ALL CANOPY TREES WITH A MINIMUM OF 5 FT. SEPARATION FROM ALL UTILITIES, UNLESS A ROOT BARRIER IS UTILIZED.
25. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN PLANTED AREAS BY MEANS OF CONTINUOUS WATERING/PRUNING, RAISING TREE ROOT BALLS WHICH SETTLE BELOW GRADE, APPLICATION OF SPRAYS WHICH ARE NECESSARY TO KEEP THE PLANTING FREE OF INSECTS AND DISEASES, FERTILIZING, WEEDING, MOVING/EDGING AND/OR OTHER OPERATIONS NECESSARY FOR PROPER CARE AND UPKEEP.
26. ROCK MULCH: ALL AREAS LABELED ROCK MULCH ON THE PLANS ARE TO BE APPROVED BY OWNER. 2" MINIMUM DEPTH THROUGHOUT ENTIRE PROJECT. FINISH GRADE IN ALL AREAS TO BE SMOOTH AND EVEN AND 1" BELOW TOP OF CURB OR SIDEWALK.

### PLANTING LEGEND

TREES	BOTANICAL NAME / COMMON NAME	SIZE	QTY
	Acacia salicina Willow Acacia	1½" Cal. Min., 8' Ht. Min., 4' Spread Min., 24" Box Min.	49
	Chilopsis linearis 'Lucretia Hamilton' Desert Willow	1½" Cal. Min., 7' Ht. Min., 4' Spread Min., 24" Box Min.	8
	Parkinsonia 'Desert Museum' Desert Museum Palo Verde	1½" Cal. Min., 8' Ht. Min., 4' Spread Min., 24" Box Min.	30
	Pinus edularia Mondel Pine	2" Cal. Min., 10' Ht. Min., 4' Spread Min., 24" Box Min.	62
	Ulmus parvifolia Evergreen Elm	1½" Cal. Min., 8' Ht. Min., 3' Spread Min., 24" Box Min.	63


## SHRUBS

	BOTANICAL NAME / COMMON NAME	SIZE	QTY
✳	Agave parryi var. truncata Artichoke Agave	12" Ht. Min. 12" Width Min.	5
✳	Agave geminiflora Twin-Flowered Agave	12" Ht. Min. 12" Width Min.	5
✳	Agave americana 'Mediopicta Alba' White Striped Century Plant	16" Ht. Min. 16" Width Min.	7
🌿	Bougainvillea 'La Jolla' La Jolla Bougainvillea	5 Gal.	29
🌿	Caesalpinia pulcherrima Red Bird of Paradise	5 Gal.	49
🌿	Callistemon viminalis 'Little John' Little John's Bottlebrush	5 Gal.	71
🌿	Eremophila hygrophana Blue Bells	5 Gal.	45
✳	Hesperaloe funifera Giant Yucca	5 Gal.	19
✳	Hesperaloe parviflora 'perpa' Brakelights Red Yucca	5 Gal.	78
🌿	Leucophyllum frutescens 'Compacta' Compact Texas Ranger Sage	5 Gal.	75
🌿	Leucophyllum frutescens 'Green Cloud' Green Cloud Sage	5 Gal.	131
🌿	Muhlenbergia rigens Deer Grass	5 Gal.	111
🌿	Muhlenbergia rigida 'Nashville' Nashville Muhly Grass	5 Gal.	60
🌿	Tecoma alata 'Orange Jubilee' Orange Jubilee	5 Gal.	26
🌿	Tecoma stans 'Gold Star' Yellow Bells	5 Gal.	118

## GROUNDCOVERS

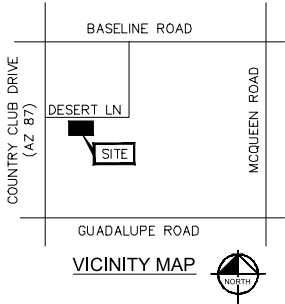
	BOTANICAL NAME / COMMON NAME	SIZE	QTY
☉	Lantana camara 'New Gold' New Gold Lantana	1 Gal.	125
④	Lantana montevidensis Purple Trailing Lantana	1 Gal.	254
●	Ruellia brittoniana 'Katie' Katie Ruellia	5 Gal.	49

## MATERIALS

DESCRIPTION	QTY
 Decomposed Granite (Submit Sample to Owner for Approval) ¾" Screened, Express Brown by Granite Express, 2" Depth Min.	262,700 SF

## **TOWN OF GILBERT LANDSCAPE REQUIREMENTS**

REQUIRED	PROVIDED	REQUIRED	PROVIDED
Parking Lot Landscape Screening			
Wall or 3'-4' Evergreen Vegetative Screen	Provided	All Landscape Areas Not Covered by Turf, or	Provided, Depth
Not Located within R,O,W	Provided	Hardscape Shall be Covered by Approved Inorganic	Indicated in Legend
3'-8' Offset from Parking Area	Provided	Groundcover such as D.G. Depth of Coverage Shall	
Max. 24' ht. Vegetation in Visibility Triangle	Provided	be Indicated on LS Plan	
Parking Lot Landscape		Parking Lot Landscape	
1 Tree / 8 Spaces (16 Trees)	32 Trees	121 Spaces / 8 = 16 Trees Required	32 Trees Provided
Min. Trunk ht. 6", 2" Caliper	6" ht. Min., 2" Caliper	Streetscape Right of Way Planting	
Min. 10% Landscape (5,980 SF)	11.6% or 6,940 SF	1 Tree / 25 LF, 3 Shrubs per Tree	
Max. 8 Spaces without Planter	Provided	735 LF (Desert Ln.) / 25 = 30 Trees / 90 Shrubs	30 Trees / 90 Shrubs
		407 LF (Country Club) / 25 = 17 Trees / 51 Shrubs	17 Trees / 51 Shrubs
Landscape Regulations		Side and Perimeter Landscape Areas	
All Trees Min. 6' ht.	Provided	3 Trees / 1000 SF, 5 Shrubs / 1000 SF	
Palm Trees Min. 5' ht.	N/A	29,990 SF (South) x 3 / 1000 = 90 Trees / 150 Shrubs	90 Trees / 150 Shrubs
All Trees Min. 3/4" Caliper	Provided	9,310 SF (East) x 3 / 1000 = 30 Trees / 50 Shrubs	30 Trees / 50 Shrubs
Trees Shall be Planted Per ANA Standards	Details will be Provided with CD Submittal	Groundcover 20% of Area Required Retention Basins Completely Landscaped Max. 4:1 Slope in Retention Basins Streetscape Theme Trees - by District, 50% (District 1)	Provided Provided 4:1 Provided Mondel Pine (50%+)

DEVELOPER/OWNER

ALDI, INC.  
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PHOENIX, AZ 85018  
TEL. NO. (602) 888-8931  
CONTACT: JOSH WALLS  
EMAIL: JOSH.WALLS@ALDI.US

CIVIL ENGINEER

KIMLEY-HORN AND ASSOCIATES, INC.  
1001 W. SOUTHERN AVE, SUITE 131  
MESA, ARIZONA 85210  
TEL. NO. (480) 207-2666  
FAX NO. (602) 944-7423  
CONTACT: STERLING MARGETTS, PE  
EMAIL: STERLING.MARGETTS@KIMLEY-HORN.COM

## LANDSCAPE ARCHITECT

KIMLEY-HORN AND ASSOCIATES, INC.  
7740 N. 16<sup>TH</sup> STREET, SUITE 300  
PHOENIX, ARIZONA 85020  
TEL. NO. (602) 906-1103  
CONTACT: ANDREW VALESTIN, PLA  
EMAIL: ANDREW.VALESTIN@KIMLEY-HORN.COM

ARCHITECT

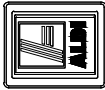
MS CONSULTANTS, INC.  
2221 SCHROCK ROAD  
COLUMBUS, OH 43229  
PH: 614-898-7100  
CONTACT: JASON LONGBRAKE  
EMAIL: JLONGBRAKE@MSCONSULTANTS.COM



# Kimley»»Horn

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**ALDI Inc.**  
5080 N. 40TH ST., STE. 335



COUNTRY CLUB DRIVE AND DESERT LANE

# PRELIMINARY LANDSCAPE COVER

GILBERT, ARIZONA

PROJECT No.

291162008

SCALE (H): NONE

SCALE (V): NONE

DRAWN BY: RAS

DESIGN BY: AAV

CHECK BY: AAV

DATE: 04/06/20

LANDSCAPE



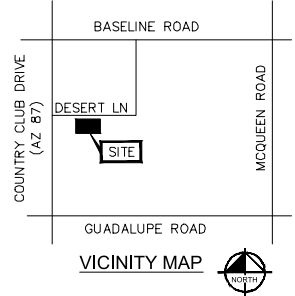
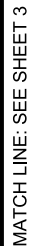
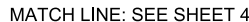
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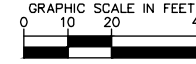
## PLANTING LEGEND

TREES	
<u>BOTANICAL NAME / COMMON NAME</u>	
	Acacia salicina Willow Acacia
	Chilopsis linearis 'Lucretia Hamilton' Desert Willow
	Parkinsonia 'Desert Museum' Desert Museum Palo Verde
	Pinus edularica Mondel Pine
	Ulmus parvifolia Evergreen Elm

	<u>BOTANICAL NAME / COMMON NAME</u>
✱	Agave parryi var. truncata Artichoke Agave
✿	Agave geminiflora Twin-Flowered Agave
✽	Agave americana 'Mediopicta Alba' White Striped Century Plant
🌀	Bougainvillea 'La Jolla' La Jolla Bougainvillea
🌺	Caesalpinia pulcherrima Red Bird of Paradise
🌵	Callistemon viminalis 'Little John' Little John's Bottlebrush
🌼	Eremophila hygrophana Blue Bells
✱	Hesperaloe funifera Giant Yucca
✱	Hesperaloe parviflora 'perpa' Brakeights Red Yucca
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🌺	Leucophyllum frutescens 'Green Cloud' Green Cloud Shrub
🌼	Muhlenbergia rigens Deer Grass
🌼	Muhlenbergia rigida 'Nashville' Nashville Muhly Grass
🌺	Tecoma alata 'Orange Jubilee' Orange Jubilee
🌼	Tecoma stans 'Gold Star' Yellow Bells

GROUNDCOVERS	
	<u>BOTANICAL NAME / COMMON NAME</u>
☉	Lantana camara 'New Gold' New Gold Lantana
①	Lantana montevidensis Purple Trailing Lantana
●	Ruellia brittoniana 'Katie' Katie Ruellia

MATERIALS	
	DESCRIPTION
	Decomposed Granite ¾" Screened, Express Brown



COUNTRY CLUB DRIVE AND DESERT LANE

# PRELIMINARY LANDSCAPE PLAN

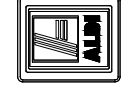
GILBERT, ARIZONA

# Kimlev»Horn

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MESA, ARIZONA 85210 (480) 207-2666

**ALDI Inc.**

6080 N. 40TH ST., STE. 335  
PHOENIX, AZ 85018  
(602) 888-8931



PROJECT No.
291162008
SCALE (H): 1":20'
SCALE (V): NONE
DRAWN BY: RAS
DESIGN BY: AAV
CHECK BY: AAV
DATE: 04/06/2018

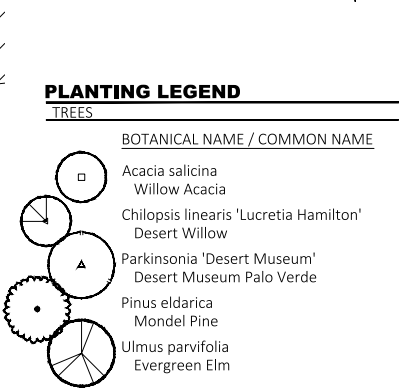
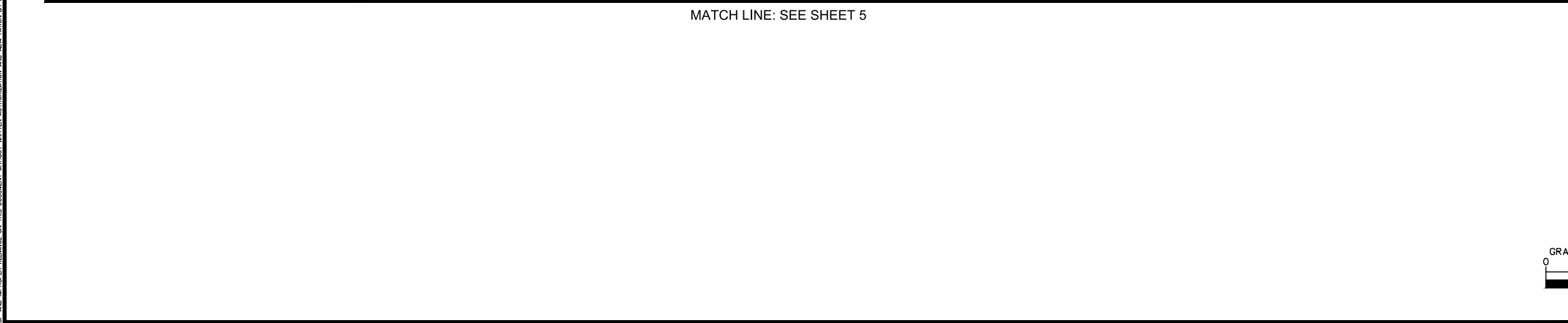


Expires 09/30/2018

LS1  
2 OF 5 SHEET




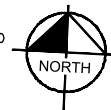
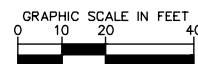
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SHRUBS		BOTANICAL NAME / COMMON NAME
		Agave parryi var. truncata Artichoke Agave
		Agave geminiflora Twin-Flowered Agave
		Agave americana 'Mediopicta Alba' White Striped Century Plant
		Bougainvillea 'La Jolla' La Jolla Bougainvillea
		Caesalpinia pulcherrima Red Bird of Paradise
		Callistemon viminalis 'Little John' Little John's Bottlebrush
		Eremophila hygrophana Blue Belles
		Hesperaloe parviflora Giant Yucca
		Hesperaloe parviflora 'perpa' Brakelights Red Yucca
		Leucophyllum frutescens 'Compacta' Compact Texas Ranger Sage
		Leucophyllum frutescens 'Green Cloud' Green Cloud Sage
		Muhlenbergia rigens Deer Grass
		Muhlenbergia rigida 'Nashville' Nashville Muhly Grass
		Tecoma alata 'Orange Jubilee' Orange Jubilee
		Tecoma stans 'Gold Star' Yellow Belles

GROUNDCOVERS	
	<u>BOTANICAL NAME / COMMON NAME</u>
⑦	Lantana camara 'New Gold' New Gold Lantana
⑧	Lantana montevidensis Purple Trailing Lantana
⑨	Ruellia brittoniana 'Katie' Katie Ruellia

MATERIALS	
DESCRIPTION	
	Decomposed Granite 3/4" Screened, Express Brown



COUNTRY CLUB DRIVE AND DESERT LANE

PRELIMINARY LANDSCAPE PLAN

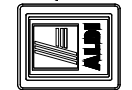
GILBERT, ARIZONA

# Kimley»Horn

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**ALDI Inc.**  
5000 N. 40TH ST. STE. 200E

PHOENIX, AZ 85018  
(602) 888-8931



PROJECT No.

291162008

SCALE (H): 1":20'

SCALE (V): NONE

DRAWN BY: RAS

DESIGN BY: AAV

CHECK BY: AAV

DATE: 04/06/2018



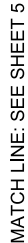
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Pre-LS.dwg

LS2

3 OF 5 SHEET

k: EAV\_Giv1291162008 - Country Club & Desert Lane/CADD/Preliminary/Pre-LS.dwg, Layout:LS3 Apr 12, 2018 - 1:10pm bryan.wright  
 ARKERS: 162008BEM-Shaps x162008B6 x1B x30-shaps x162008B6-2.2-shaps x162008B5  
 DISSEMINATION: DISSEMINATION AND INFORMATION: ALL INFORMATION CONTAINED HEREIN IS UNCLASSIFIED  
 UNLESS OTHERWISE INDICATED BY A CLASSIFICATION AND/OR CONTROL MARKING.



TREES

## BOTANICAL NAME / COMMON NAME

A vertical column of 18 geometric symbols. From top to bottom: a six-pointed star; a five-pointed star; a six-pointed star; a circle containing three teardrop shapes; a circle with three radial lines; a circle with a central dot; a hexagon with an internal cross; a six-pointed star; an eight-pointed star; a circle with a central dot; a circle with a radial line; a circle with three radial lines; a circle with eight radial lines; a circle with a central dot; a circle with a diagonal line; a circle with a central dot.

## BOTANICAL NAME / COMMON NAME

☐ ☐ ☐

DESCRIPTION
-------------

Figure 1



Pre-LS.dwg

4 OF 5 SHEET

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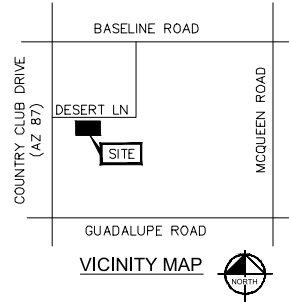
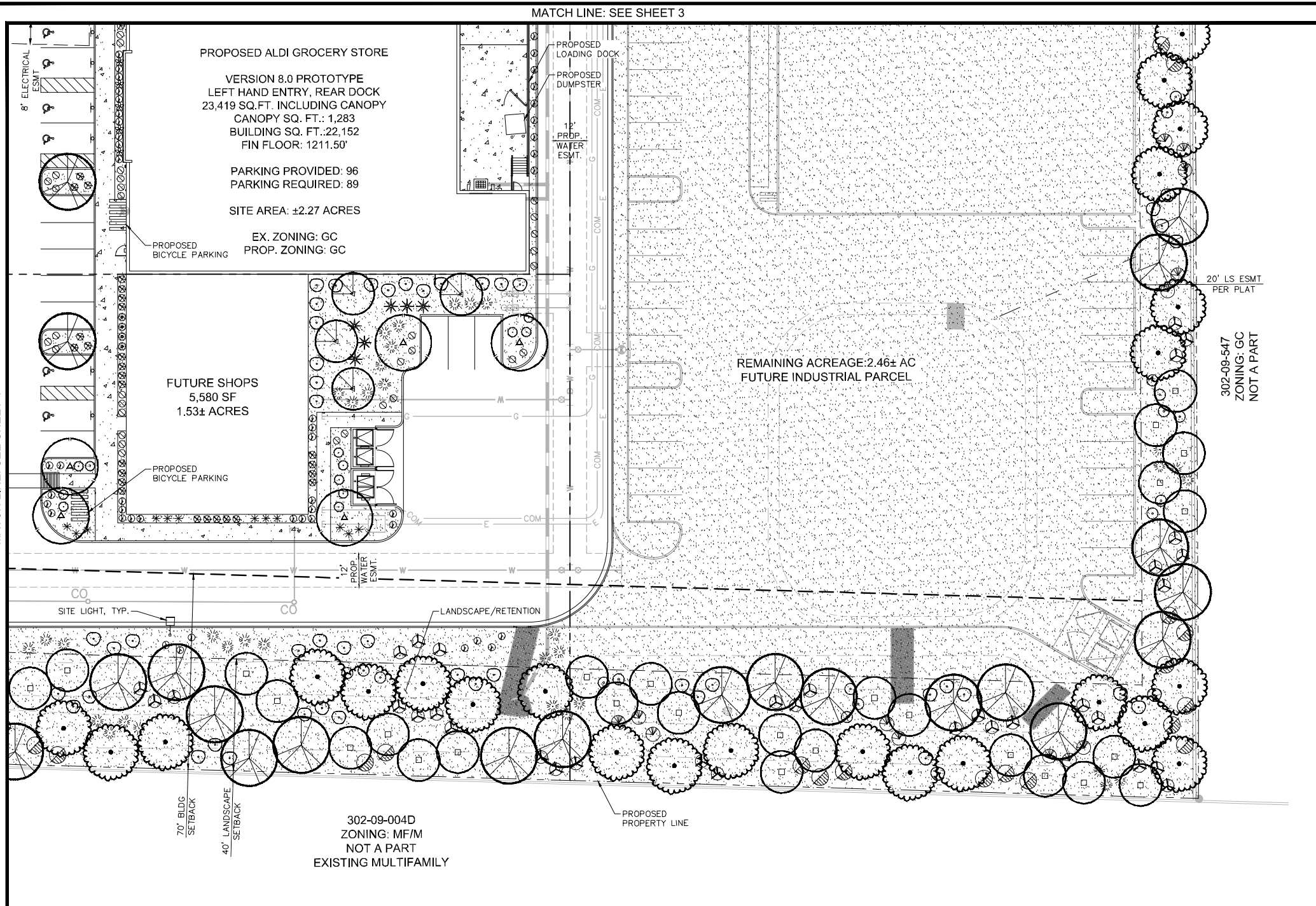
# PRELIMINARY LANDSCAPE PLAN

GILBERT, ARIZONA

5080 N. 40TH ST., STE. 335  
PHOENIX, AZ 85018  
(602) 888-8931






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MESA, ARIZONA 85210 (480) 207-2666





### PLANTING LEGEND

## TREES

	<u>BOTANICAL NAME / COMMON NAME</u>
	Acacia salicina Willow Acacia
	Chilopsis linearis 'Lucretia Hamilton' Desert Willow
	Parkinsonia 'Desert Museum' Desert Museum Palo Verde
	Pinus edularica Mondel Pine
	Ulmus parvifolia Evergreen Elm

---


SHRUBS

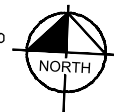
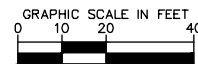
	BOTANICAL NAME / COMMON NAME
✱	Agave parryi var. truncata Artichoke Agave
✳	Agave geminiflora Twin-Flowered Agave
✳	Agave americana 'Mediopicta Alba' White Striped Century Plant
🌵	Bougainvillea 'La Jolla' La Jolla Bougainvillea
🌵	Caesalpinia pulcherrima Red Bird of Paradise
🌵	Callistemon viminalis 'Little John' Little John's Bottlebrush
🌵	Eremophila hydropatha Blue Bells
✳	Hesperaloe funifera Giant Yucca
✱	Hesperaloe parviflora 'perpa' Brakelights Red Yucca
🌵	Leucophyllum frutescens 'Compacta' Compact Texas Ranger Sage
🌵	Leucophyllum frutescens 'Green Cloud' Green Cloud Sage
🌵	Muhlenbergia rigens Deer Grass
🌵	Muhlenbergia rigida 'Nashville' Nashville Muhly Grass
🌵	Tecoma alata 'Orange Jubilee' Orange Jubilee
🌵	Tecoma stans 'Gold Star' Yellow Bells

## GROUNDCOVERS

	BOTANICAL NAME / COMMON NAME
☒	Lantana camara 'New Gold' New Gold Lantana
☐	Lantana montevidensis Purple Trailing Lantana
☒	Ruellia brittoniana 'Katie' Katie Ruellia

## MATERIALS

	DESCRIPTION
	Decomposed Granite 3/4" Screened, Express Brown



COUNTRY CLUB DRIVE AND DESERT LANE

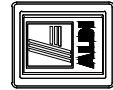
# PRELIMINARY LANDSCAPE PLAN

GILBERT, ARIZONA

**Kimley»»Horn**

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**ALDI Inc.**  
5030 N. 40TH ST., STE. 335



PROJECT No.  
291162008

SCALE (H): 1":20'

SCALE (V): NONE

DRAWN BY: RAS

DESIGN BY: AAV

CHECK BY: AAV



Expires 09/30/2018

Pre-LS.dwg

LS4

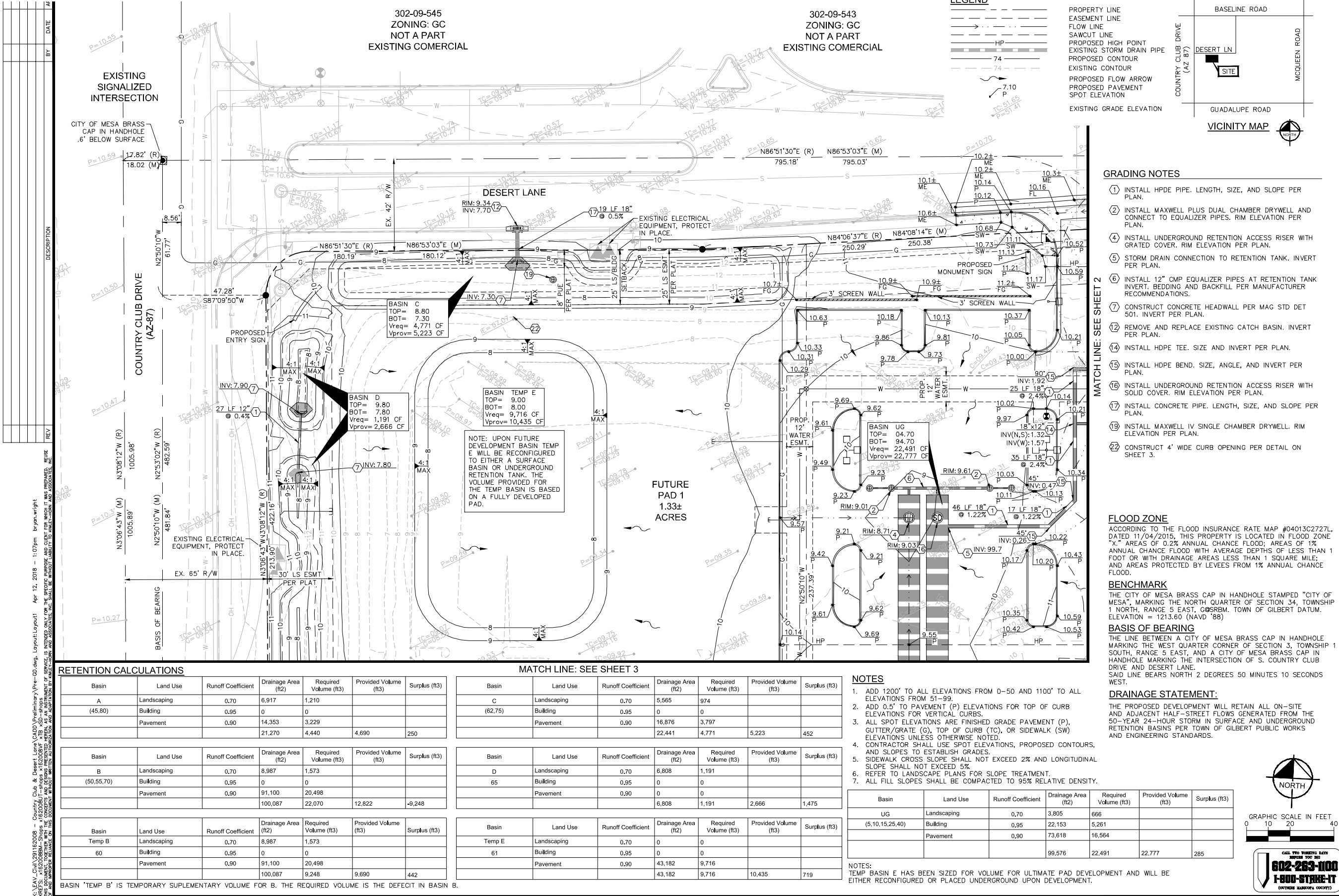
5 OF 5 SHEETS







DR18-56: ALDI  
Attachment 4 - Grading and Drainage Plan  
June 6, 2018



Kimley»Horn

ALDI Inc.  
5080 N. 40TH ST. STE. 335  
PHOENIX, AZ 85018  
(602) 888-9931

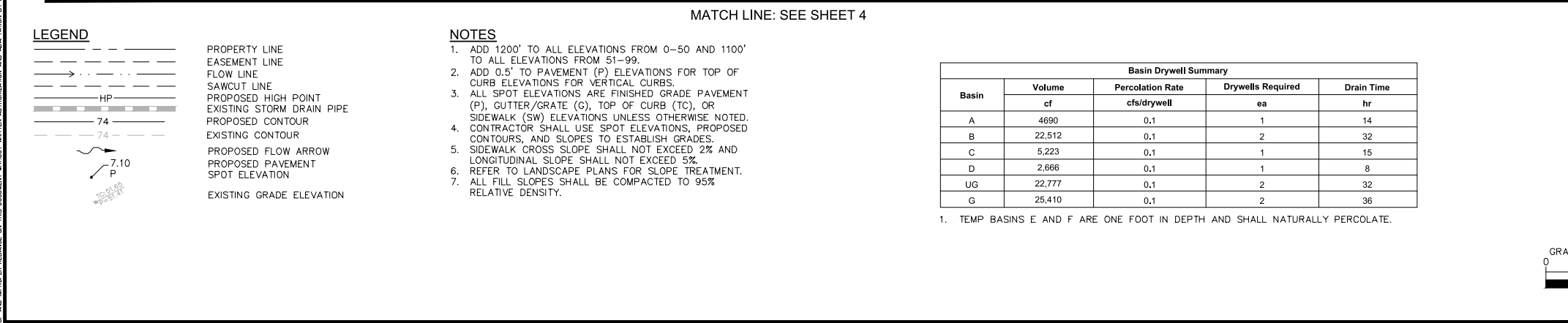
COUNTRY CLUB DRIVE AND DESERT LANE  
PRELIMINARY GRADING AND DRAINAGE PLAN  
GILBERT, ARIZONA

PROJECT No.  
291162008  
SCALE (H): 1"=20'  
SCALE (V): NONE  
DRAWN BY: BMW  
DESIGN BY: BMW  
CHECK BY: STM  
DATE: 04/06/2018

Professional Engineer  
47183  
STERLING  
MARGITTS  
ARIZONA, USA  
EXPIRES 12/31/19

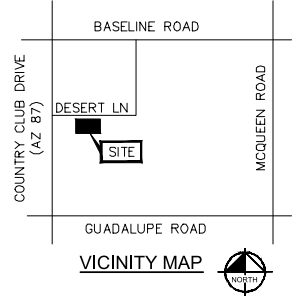
GD1  
1 OF 6 SHEETS

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Basin Drywell Summary				
Basin	Volume	Percolation Rate	Drywells Required	Drain Time
	cf	cfs/drywell	ea	hr
A	4690	0.1	1	14
B	22,512	0.1	2	32
C	5,223	0.1	1	15
D	2,666	0.1	1	8
UG	22,777	0.1	2	32
G	25,410	0.1	2	36

1. TEMP BASINS E AND F ARE ONE FOOT IN DEPTH AND SHALL NATURALLY PERCOLATE.



- ## GRADING NOTES
- ① INSTALL HPDE PIPE. LENGTH, SIZE, AND SLOPE PER PLAN.
  - ② INSTALL MAXWELL PLUS DUAL CHAMBER DRYWELL AND CONNECT TO EQUALIZER PIPES. RIM ELEVATION PER PLAN.
  - ④ INSTALL UNDERGROUND RETENTION ACCESS RISER WITH GRATED COVER. RIM ELEVATION PER PLAN.
  - ⑤ STORM DRAIN CONNECTION TO RETENTION TANK. INVERT PER PLAN.
  - ⑥ INSTALL 12" CMP EQUALIZER PIPES AT RETENTION TANK INVERT. BEDDING AND BACKFILL PER MANUFACTURER RECOMMENDATIONS.
  - ⑦ CONSTRUCT CONCRETE HEADWALL PER MAG STD DET 501. INVERT PER PLAN.
  - ⑨ CONNECT TO BUILDING DRAIN, REF ARCH PLANS. INVERT PER PLAN.
  - ⑩ FLUSH CONCRETE, REF ARCH PLANS.
  - ⑪ TRANSITION PAVEMENT ALONG CURB FROM 6" REVEAL TO FLUSH WITH TOP OF CURB.
  - ⑫ REMOVE AND REPLACE EXISTING CATCH BASIN. INVERT PER PLAN.
  - ⑬ CONSTRUCT CATCH BASIN TYPE 'E' PER MAG STD DET 534. RIM AND INVERT ELEVATIONS PER PLAN.
  - ⑭ INSTALL HPDE TEE. SIZE AND INVERT PER PLAN.
  - ⑮ INSTALL HPDE BEND. SIZE, ANGLE, AND INVERT PER PLAN.
  - ⑯ INSTALL UNDERGROUND RETENTION ACCESS RISER WITH SOLID COVER. RIM ELEVATION PER PLAN.
  - ⑰ INSTALL CONCRETE PIPE. LENGTH, SIZE, AND SLOPE PER PLAN.
  - ⑲ INSTALL MAXWELL IV SINGLE CHAMBER DRYWELL. RIM ELEVATION PER PLAN.
  - ⑳ CONSTRUCT 4' WIDE CURB OPENING PER DETAIL ON SHEET 3.
  - ㉑ 4" BUILDING DRAIN TO UNDER DRAIN.

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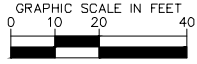
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PHOENIX, AZ 85018  
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COUNTRY CLUB DRIVE AND DESERT LANE  
PRELIMINARY GRADING AND DRAINAGE PLAN  
GILBERT, ARIZONA

PROJECT No.	291162008
SCALE (H):	1":20'
SCALE (V):	NONE
DRAWN BY:	BMW
DESIGN BY:	BMW
CHECK BY:	STM
DATE:	04/06/2018



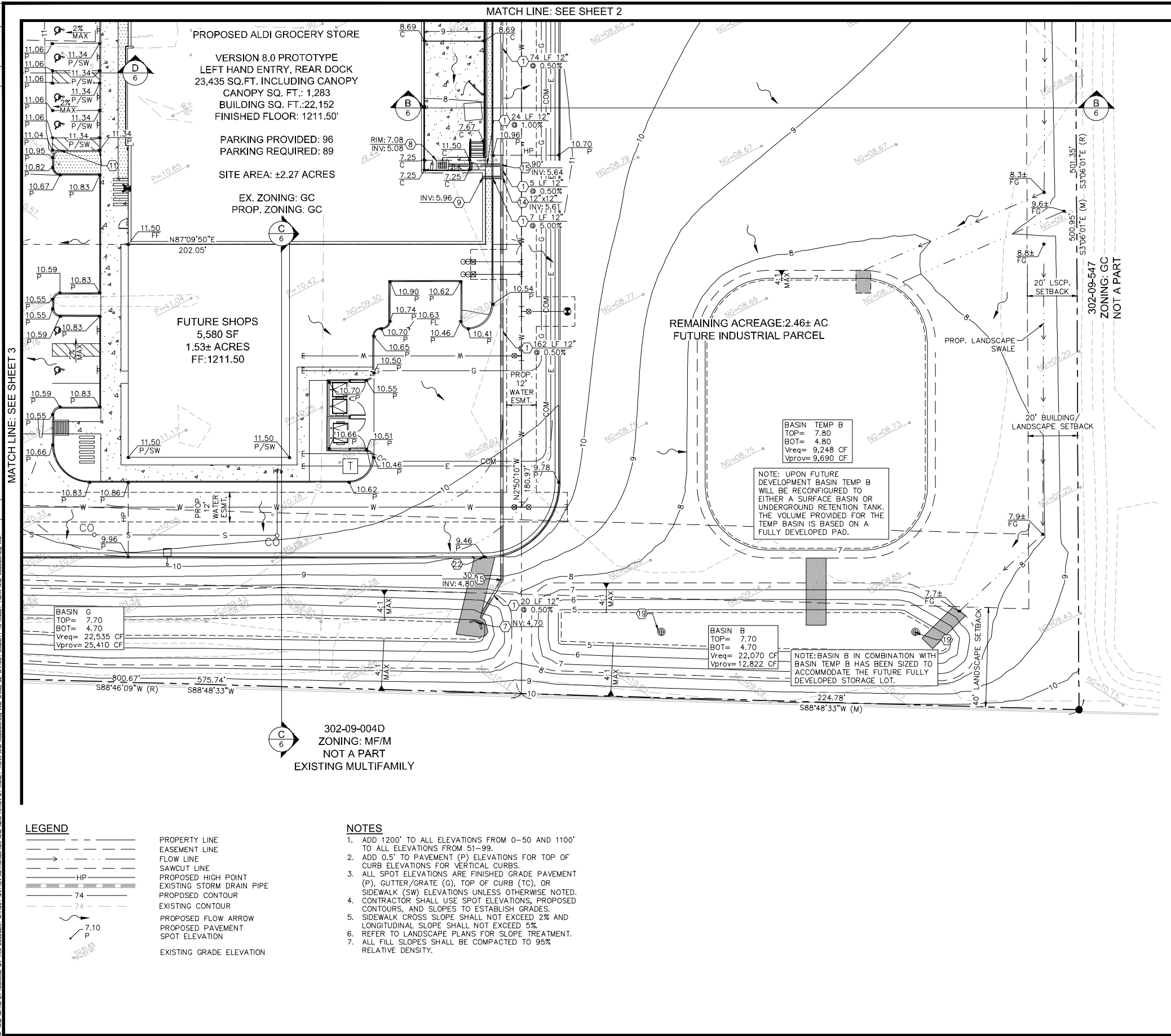
GD2  
2 OF 6 SHEET



**CALL TWO WORKING DAYS  
BEFORE YOU DIG**  
**602-263-1100**  
**1-800-STAKE-IT**  
(OUTSIDE MARICOPA COUNTY)

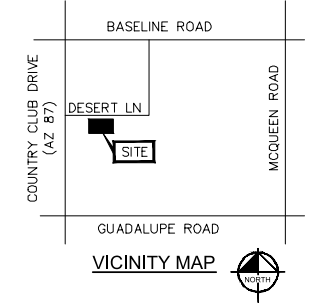


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## GRADING NOTES

- ① INSTALL HPDE PIPE. LENGTH, SIZE, AND SLOPE PER PLAN.
- ⑦ CONSTRUCT CONCRETE HEADWALL PER MAG STD DET 501. INVERT PER PLAN.
- ⑧ INSTALL TRUCK WELL. CATCH BASIN WITH BACKWATER VALVE. REF ARCH PLANS.
- ⑨ CONNECT TO BUILDING DRAIN, REF ARCH PLANS. INVERT PER PLAN.
- ⑪ TRANSITION PAVEMENT ALONG CURB FROM 6" REVEAL TO FLUSH WITH TOP OF CURB.
- ⑭ INSTALL HPDE TEE. SIZE AND INVERT PER PLAN.
- ⑮ INSTALL HPDE BEND. SIZE, ANGLE, AND INVERT PER PLAN.
- ⑲ INSTALL MAXWELL IV SINGLE CHAMBER DRYWELL. RIM ELEVATION PER PLAN.
- ⑳ CONSTRUCT 4' WIDE CURB OPENING PER DETAIL ON SHEET 3.



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COUNTRY CLUB DRIVE AND DESERT LANE  
PRELIMINARY GRADING AND DRAINAGE PLAN  
GILBERT, ARIZONA

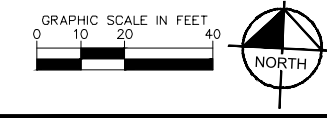
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SCALE (V): NONE
DRAWN BY: BMW
DESIGN BY: BMW
CHECK BY: STM
DATE: 04/06/2018



Pre-GD.dwg

GD4

4 OF 6 SHEETS

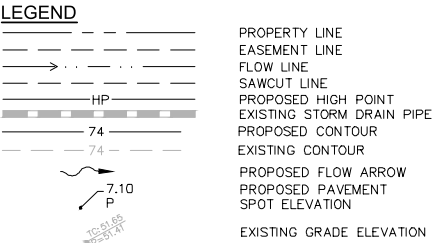


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**1-800-STAKE-IT**  
(OUTSIDE MARICOPA COUNTY)

K:\NEW\_City\20162008 - County, City & Desert Local GOV\Priority\Pre-CD.dwg, Layout:Layout1 (5) Apr 12, 2016 - 1:07pm bryan.wright

23 CONSTRUCT CONCRETE SCUPPER PER MAG STD DET 206.

- 23 CONSTRUCT CONCRETE SCUPPER PER MAG STD DET 206.



1. ADD 1200' TO ALL ELEVATIONS FROM 0-50 AND 1100' TO ALL ELEVATIONS FROM 51-99.
2. ADD 0.5' TO PAVEMENT (P) ELEVATIONS FOR TOP OF CURB ELEVATIONS FOR VERTICAL CURBS.
3. ADD SPOT ELEVATIONS FOR UNPAVED GRADE PAVEMENT (P), GUTTER/GRADE (G), TOP OF CURB (TC), OR SIDEWALK (SW) ELEVATIONS UNLESS OTHERWISE NOTED. A CONTRACTOR SHALL USE SPOT ELEVATIONS, PROPOSED CONTOURS, AND SLOPES TO ESTABLISH GRADES.
5. SIDEWALK CROSS SLOPE SHALL NOT EXCEED 2% AND LONGITUDINAL SLOPE SHALL NOT EXCEED 5%.
6. REFER TO LANDSCAPE PLANS FOR SLOPE TREATMENT.
7. ALL FILL SLOPES SHALL BE SLOPED TO 95% RELATIVE DENSITY.

**CALL TWO WORKING DAYS  
BEFORE YOU DIE**  
**602-263-1100**  
**1-800-STRIKE-IT**  
(OUTSIDE MARICOPA COUNTY)

PROJECT No.	291162008
SCALE (H):	1":20'
SCALE (V):	NONE
DRAWN BY:	BMW
DESIGN BY:	BMW
CHECK BY:	STM
DATE:	04/06/2018

GD5  
5 OF 6 SHEET

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[illegible]

GD6  
6 OF 6 SHEETS



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5080 N. 40TH ST. STE. 335  
PHOENIX, AZ 85018  
(602) 898-8931



PLOTTED: 4/10/2018 5:37 PM

SIGNAGE			
DESCRIPTION	QUANTITY	SQ. FT. PER SIGN	TOTALS
TOWER SIGN	2	74.9	149.8
TOTAL SIGNAGE			149.8
SIGNAGE IS SHOWN FOR REFERENCE ONLY AND SHALL BE UNDER SEPARATE PERMIT SUBMITTAL			



Issued:	Date:
Concept No. 1	04/10/18
Revisions:	Date:

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**ms consultants, inc.**  
engineers, architects, planners  
2221 Schrock Road  
Columbus, Ohio 43229-1547  
phone 614.898.7100  
fax 614.898.7570

DRAWN BY:	JSR
REVIEWED BY:	MJB

Seal

  
**ALDI Inc.**  
5080 N. 40th Street  
Phoenix, AZ 85018  
(828) 713-8010

ALDI Inc. Store #: 159  
Gilbert  
Country Club & Desert Lane  
Gilbert, AZ

Project Name & Location:

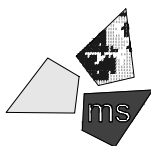

Exterior Elevations

Drawing Name:

Prototype Rls. 02/07/18	Project No. 40464-05
Type: RHRD-V8	A-201
Scale: As Noted	
Drawing No.	

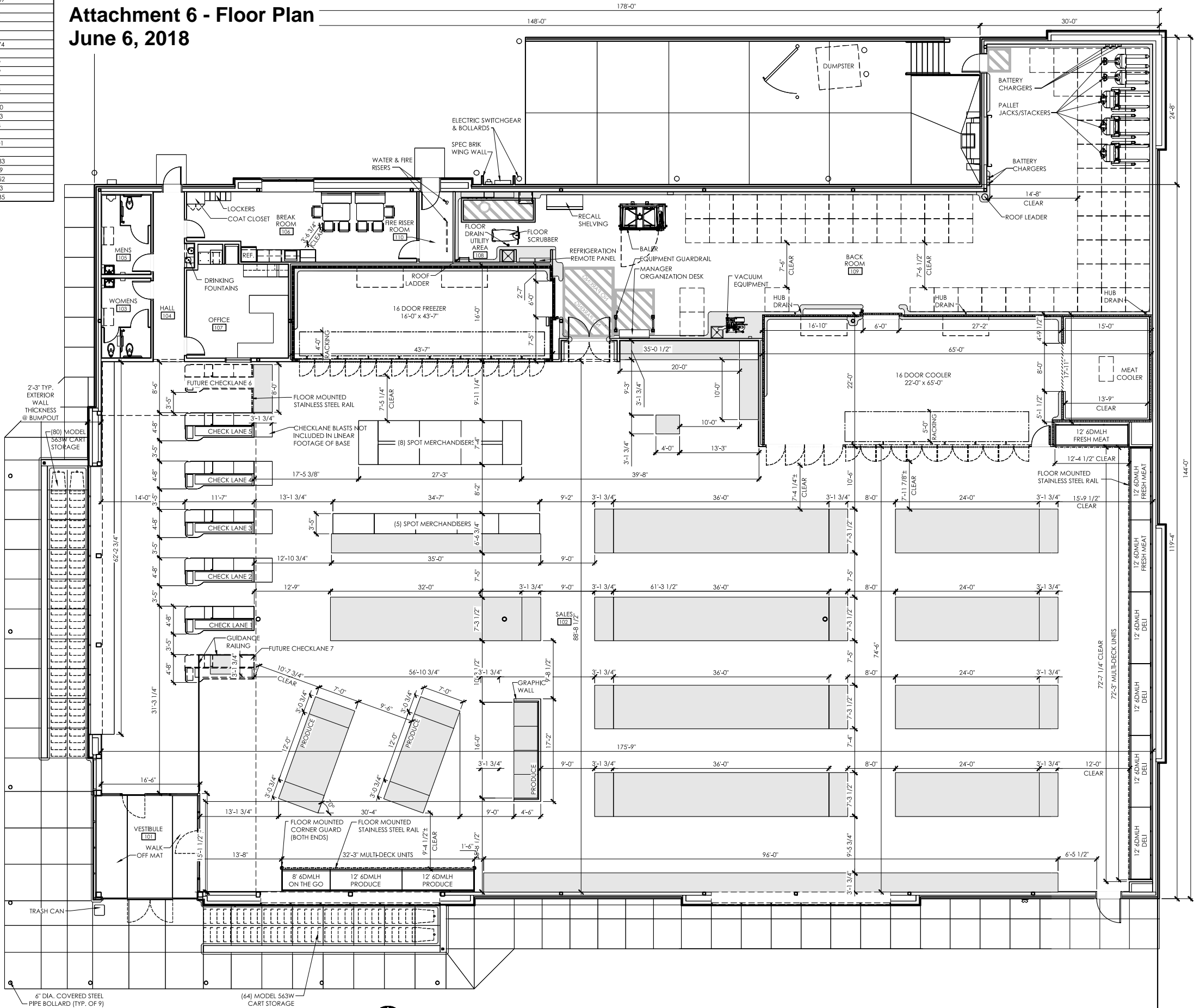
PRELIMINARY - NOT FOR CONSTRUCTION

EXTERIOR FINISH SCHEDULE			
KEY	MATERIAL / MFG.	COLOR / NO.	NOTES
A1	PREFINISHED METAL COPING	A1a - SILVER - AT HIGH ROOF & CANOPY A1a - SIERRA TAN - AT BRICK A1b - AGED BRONZE - AT NICHIHA TOWERS A1c - GRANITE - AT RIF	SEE SPECIFICATIONS APPENDIX 'B'
A2	SPEC-BRICK CONCRETE MASONRY VENEER	4 X 4 X 16 GARDNER BLEND w/ HOLCIM "SANDBEIGE" MORTAR	CONTACT THE CONCRETE PRODUCTS GROUP AT 800-789-0872 FOR ORDERING SEE SPEC FOR ADDITIONAL INFO
A3	PREFINISHED ALUM. SILL	BRIGHT SILVER	
A4	ALUMINUM STOREFRONT - FRONT SET GLAZING	ANODIZED ALUM.	SHADED WINDOWS ARE SPANDREL RE: DWG. A602
A5	MEMBRANE ROOFING	GRAY	TOP OF SLOPED ROOF, CANOPY ROOF, AND BACK OF RAISED ROOF PROJECTIONS - SEE SPECIFICATIONS APPENDIX 'B'
A6	METAL SOFFIT PANELS	SOLID PANELS - BRIGHT SILVER	RE: DWG. A301-A304
A7	EXTERIOR PAINT	PT-19 / CL-9	RE: DWG. A603
A8	KALWALL	EXT. FACE: CRYSTAL, INTERIOR FACE: WHITE 25	070 TYPE A
A9	ALUMINUM COMPOSITE PANEL	BRIGHT SILVER (NON-REFLECTIVE)	PROVIDE PANEL JOINTS AS SHOWN - PROVIDE ONE PIECE TIGHT FIT EXTRUDED MOLDING INSTALLATION SYSTEM WITH CENTER REVEAL TRIM BETWEEN PANELS AND J TRIM AT PANEL EDGES.
A10	NICHIHA FIBER CEMENT EXTERIOR CLADDING	VINTAGEWOOD 'BARK'	CONTACT NICHIHA AT 770-805-9466 FOR ORDERING SEE SPEC FOR TRIM REQUIREMENTS AND ADDITIONAL INFO
A11	BLRD-2	PT-19 / CL-4	RE: DWG A603
A12	BLRD-4	STAINLESS STEEL	RE: DWG A603
A13	PREFABRICATED SUN SHADE	SILVER POWDER COAT	MANUFACTURED BY C. R. LAURENCE; RE: DWGS A306, A505
A14	GUARD RAIL TYPE "B"	PT-19 / CL-9	RE: DWG B2/A507, A603
A15	CART STARTER POST	GALVANIZED	
A16	DOCK LEVELER / SEAL AND BUMPERS	LEVELER - FACTORY FINISH / SEAL AND BUMPERS - FACTORY FINISH - BLACK	PROVIDE BRICK BEHIND DOCK SEAL
A17	MASONRY CONTROL JOINT		MAX 30' OC RE: DWG. A504, A505
A18	OVERFLOW SCUPPER	PT-19 / CL-9	RE: DWG A2/A507
A19	ARCHITECTURAL CAST STONE CAP	TBD - NATURAL CONCRETE LOOK	
A20	ALDI TOWER SIGN	BY SIGN VENDOR	7'-11 1/8" w. x 9'-5 1/2" h.; VERIFY SIGN SIZE PRIOR TO FRAMING OPENING SEE DETAIL C1/A504
A21	CRTB	NATURAL	RE: DWG A603 - SEE STRUCTURAL DWGS
A22	KNOX BOX	FACTORY FINISH	CONFIRM TYPE AND LOCATION WITH LOCAL FIRE MARSHAL
A23	FIBER CEMENT PANEL CORNER TRIM	FINISH TO MATCH PANELS	TYPICAL AT ALL OUTSIDE CORNERS
A24	FIBER CEMENT PANEL VERTICAL JOINT		
A25	8" X 8" PRE-FINISHED ALUM GUTTER		
A26	8" X 8" PRE-FINISHED ALUM DOWNSPOUT		TERMINATE AT CONC, SPLASH BLOCK
A27	ACP H/J TRIM / JOINT COVER		TYPICAL AT EDGES AND BUTT JOINTS OF ACP
A28	NICHIHA FIBER CEMENT PANEL BASE FLASHING	TO MATCH NICHIHA BARK TRIM	COLOR BASED ON NICHIHA TRIM PAINT FORMULA; OBTAIN FROM NICHIHA
A29	DRYVIT SYSTEMS, INC EXTERIOR INSULATION FINISH SYSTEM	SANDPEBBLE FINE DPR COLOR #104 DOVER SKY	SEE SPEC FOR ADDITIONAL INFO
A30	DUMPSTER ENCLOSURE		RE: DWG A507
A31	EXTERIOR CMU PAINT	TO MATCH VINTAGEWOOD NICHIHA 'BARK'	
A32	ROOF SCREEN	CITYSCAPES ENVISOR. COLOR: SLATE GRAY	REFER TO SPECIFICATIONS.
E1	EXIT DISCHARGE LIGHT	FACTORY FINISH	MOUNT @ 8'-0" A.F.F.
E2	WALL SCONCE	FACTORY FINISH	MOUNT @ 16'-2" A.F.F.; RE: DWG. A111 FOR DIMENSIONS
E3	FUSED DISCONNECT	FACTORY FINISH	SEE ELECTRICAL DWGS
E4	UTILITY METERING & C.T.	FACTORY FINISH	SEE ELECTRICAL DWGS
E5	EXTERIOR WALL PACK	FACTORY FINISH	MAN DOORS - MOUNT @ 9'-0" A.F.F. LOADING DOCK - MOUNT @ 12'-0" A.F.F.
E6	EXTERIOR DUPLEX RECEPTACLE	FACTORY FINISH	MOUNT @ 1'-6" A.F.F. IN 4' SQUARE J-BOX
F1	FIRE DEPT. CONNECTION	FACTORY FINISH	SEE FIRE PROTECTION DWGS
F2	MOTOR GONG	FACTORY FINISH	SEE FIRE PROTECTION DWGS
P1	HOSE BIB	FACTORY FINISH	SEE PLUMBING DWGS
P2	RPZ DISCHARGE	FACTORY FINISH	SEE PLUMBING DWGS
XX	GLAZING KEY		RE: DWG A602
XY	ALIGN KEY		A: ALIGN NICHIHA PANEL JOINTS AND WINDOW MULLIONS B: ALIGN NICHIHA PANEL JOINTS, KALWALL MULLIONS & WINDOW MULLIONS C: NICHIHA PANEL JOINTS

Issued:		Date:
Concept No. 1	04/10/18	
Revisions:		Date:
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<div style="text-align: center;"> <b>ms consultants, inc.</b> <b>engineers, architects, planners</b> 2221 Schrock Road Columbus, Ohio 43229-1547 phone 614.898.7100 fax 614.898.7570</div>		
DRAWN BY:		JSR
REVIEWED BY:		MJB
Seal		
<div style="text-align: center;"><div><b>ALDI Inc.</b> 5080 N. 40th Street Phoenix, AZ. 85018 (828) 713-8010</div></div>		
ALDI Inc. Store #: 159 Gilbert Country Club & Desert Lane Gilbert, AZ		
Project Name & Location:		
Exterior Elevation Material Schedule Drawing Name:		
Prototype Rls. 02/07/18		Project No.  40464-05
Type: RHRD-V8		
		A-202
Scale: As Noted		Drawing No.

REAR DOCK AREA SUMMARY		
OCCUPANCY USE	ROOM NAME	SQUARE FOOTAGE
MERCANTILE (M)	SALES / VESTIBULE	14,809
	MEN'S ROOM	107
	WOMEN'S ROOM	107
	HALL	151
SUBTOTAL (MERCANTILE)		15,174
BUSINESS (B)	OFFICE	289
	BREAK ROOM	419
SUBTOTAL (BUSINESS)		708
STORAGE / STOCK (S-I)	BACKROOM	3,140
	COOLER	1,313
	FREEZER	648
SUBTOTAL (STORAGE / STOCK)		5,101
SUBTOTAL (OCCUPANCIES)		20,983
EXTERIOR / INTERIOR WALLS / UNOCCUPIED SPACE		1,169
BUILDING SQUARE FOOTAGE		22,152
EXTERIOR CANOPY		1,283
TOTAL SQUARE FOOTAGE (INCLUDING CANOPY)		23,435

DR18-56: ALDI  
Attachment 6 - Floor Plan  
June 6, 2018



REAR DOCK OPERATIONS DATA	
ITEM	V8.0 PROTOTYPE
LINEAR FOOTAGE OF BASE (PRODUCE INCLUDED)	906'-2"
ASSUMED PALLET STORAGE	70
BUILDING DIMENSIONS	119'-4" x 178'-0"
SALES FLOOR DIMENSIONS	74'-6" x 175'-9"
LENGTH OF MULTIDECK	116'
COOLER MILK DOORS	4
COOLER GENERAL DOORS	12
FREEZER GENERAL DOORS	16
SPOT MERCHANDISERS	13
CART STORAGE	(144) MODEL 563W

1 Operations Plan  
SCALE: 1/8" = 1'-0"




Issued:	Date:
Concept No. 1	03/08/18
Revisions:	Date:

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**ms consultants, inc.**  
engineers, architects, planners  
2221 Schrock Road  
Columbus, Ohio 43229-1547  
phone 614.898.7100  
fax 614.898.7570

DRAWN BY:	JSR
REVIEWED BY:	MJB

Seal

  
**ALDI Inc.**  
5090 N. 40th Street  
Phoenix, AZ 85018  
(828) 1134010







ALDI Inc. Store #: 159  
Project Name  
Country Club & Desert Lane  
Gilbert, AZ

Project Name & Location:

Operations Plan

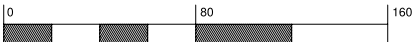
Drawing Name:	Prototype Rls.	Project No.
	02/07/18	40464-05
Type: RHRD-V8		
		A-131
Scale: As Noted		Drawing No.

DR18-56: ALDI  
Attachment 7 - Lighting Photometric Plan  
June 6, 2018

Luminaire Schedule											
Symbol	Qty	Label	Arrangement	Lumens/Lamp	LLF	Total Watts	Description				
	5	L21	SINGLE	3819	1.000	210	XSPWA0330KC-UCSP				
	7	L23	SINGLE	N.A.	1.000	301.49	AL-42WLED-UD-120-CG-30K				
	5	L31	SINGLE	11648	1.000	430	OSQ-A-NM-4ME-B-57K-UL-CS w/OSQ-DACS				
	3	L32(90)	2 @ 90°	11648	1.000	516	OSQ-A-NM-4ME-B-57K-UL-CS w/OSQ-DACS				
	4	L33	3 @ 90°	11648	1.000	1032	OSQ-A-NM-4ME-B-57K-UL-CS w/OSQ-DACS				
	3	L34	4 @ 90°	11648	1.000	1032	OSQ-A-NM-4ME-B-57K-UL-CS w/OSQ-DACS				
Footcandles calculated using initial lumen values											
Label							Avg	Max	Min	Avg/Min	Max/Min
PAVEMENT							3.29	9.6	0.1	32.90	96.00

NATIONAL ACCOUNT PRICING, PLEASE CONTACT MIKE KREINER AT CREE LIGHTING  
224-250-1561 OR MKREINER@CREE.COM

EQUIPMENT SCHEDULE:  
(15) CL-SSP-4011-22-D6-PS (22' x 4" SQ POLE, QUAD MOUNT)  
(35) OSQ-DACS DIRECT ARM MOUNT  
PROPOSED POLES MEET 100MPH SUSTAINED WIND LOADS



"DLC" V4 is in effect as of April 1, 2017,  
which impacts the rebate eligibility of many LED products.  
If you require DLC-qualified fixtures,  
please reference <https://www.designlighting.com/rebate/>  
for updated qualified product listings.  
Email [rebates@cree.com](mailto:rebates@cree.com) or [chris.rebates@cree.com](mailto:chris.rebates@cree.com) for assistance.



1200 92nd Street - Shrewport, WI 53177  
www.cree.com • (800) 236-6900

Project Name: ALDI - GILBERT, AZ		SR-28905	
Date: 4/5/2018	Scale: 1"=40'	Footcandles calculated at grade	
Filename: V:\Common\AppEng\NATALD-180305GLAZCJBR2.AGI		Layout by: CHRIS BOSANEC	

Illumination results shown on this lighting design are based on project parameters provided to Cree, Inc. used in conjunction with luminaire test procedures conducted under laboratory conditions. Actual project conditions differing from these design parameters may affect field results. The customer is responsible for verifying dimensional accuracy along with compliance with any applicable electrical, lighting, or energy code.





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ALDI #159 GILBERT, AZ		
KEY	MATERIAL	COLOR
1	BRICK	SPEC-BRIK GARDNER BLEND
2	FIBER CEMENT BOARD	NICHIHA BARK (VINTAGE WOOD)
3	ALUMINUM COMPOSITE PANEL	BRIGHT SILVER
4	ALUMINUM STOREFRONT	CLEAR ANODIZED ALUMINUM
5	EIFS	DRYVIT WHISPER - SANDPEBBLE FINE

